

SUBDIVISION ACT 1988 PLAN OF SUBDIVISION	EDITION 1	PLAN NUMBER PS846712U
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LOCATION OF LAND PARISH: CARDIGAN TOWNSHIP: ---- SECTION: 2 CROWN ALLOTMENT: 10 (PART) & 11 (PART) CROWN PORTION: ---- TITLE REFERENCES: VOL. FOL. ---- LAST PLAN REFERENCE: PS846711W LOT AJ POSTAL ADDRESS: 316 GLENELG HIGHWAY (at time of subdivision) WINTER VALLEY, VIC 3358 MGA CO-ORDINATES: E 746 830 ZONE: 55 (of approximate centre of N 5 836 380 GDA 94 land in plan)	COUNCIL NAME : BALLARAT CITY COUNCIL
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VESTING OF ROADS OR RESERVES		WINTERFIELD - RELEASE 14 NUMBER OF LOTS IN THIS PLAN: 91 + BALANCE TOTAL AREA OF LAND IN THIS PLAN: 8.183ha (INCLUDES BALANCE 2.483ha) DEPTH LIMITATION: DOES NOT APPLY
IDENTIFIER	COUNCIL / BODY / PERSON	
ROADS, R-1 RESERVE No.1	BALLARAT CITY COUNCIL POWERCOR AUSTRALIA LTD.	

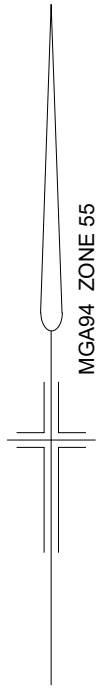
NOTATIONS	
LOTS 1 TO 1400(BOTH INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN. ANY EASEMENTS SHOWN ON PREVIOUS PLANS AS IT AFFECTS ROADS R-1 ON THIS PLAN ARE REMOVED VIDE SCHEDULE 5, CLAUSE 14 OF THE ROAD MANAGEMENT ACT 2004	

WARNING
 THIS PLAN IS AN UNREGISTERED PLAN OF SUBDIVISION. DIMENSIONS AND LAYOUT MAY VARY PRIOR TO FINAL APPROVAL OF PLAN

EASEMENT INFORMATION					STAGING: THIS IS NOT A STAGED SUBDIVISION PLANNING PERMIT No. 2017/229. SURVEY: THIS PLAN IS BASED ON SURVEY THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS No(s). PM17, PM35, PM45, PM74. IN PROCLAIMED SURVEY AREA No. 49
LEGEND: A - APPURTENANT EASEMENT E - ENCUMBERING EASEMENT R - ENCUMBERING EASEMENT (ROAD)					
EASEMENT REFERENCE	PURPOSE	WIDTH (METRES)	ORIGIN	LAND BENEFITED /IN FAVOUR OF	
E-1, E-2, E-5	PIPELINE OR ANCILLARY PURPOSES	SEE DIAG.	PS846711W & SECTION 136 WATER ACT 1989	CENTRAL HIGHLANDS REGION WATER CORPORATION	
E-2, E-4, E-6	DRAINAGE	SEE DIAG.	THIS PLAN	BALLARAT CITY COUNCIL	
E-3, E-4	PIPELINE OR ANCILLARY PURPOSES	SEE DIAG.	THIS PLAN & SECTION 136 WATER ACT 1989	CENTRAL HIGHLANDS REGION WATER CORPORATION	
E-5	DRAINAGE	SEE DIAG	PS846711W	BALLARAT CITY COUNCIL	

REF: 23718/14	VERSION: D	DATE: 08/06/22 23718-14-PS-D.dwg		ORIGINAL SHEET SIZE A3	SHEET 1 OF 7 SHEETS
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 <p style="font-size: x-small;"> Reeds Consulting Pty Ltd Lvl 6, 440 Elizabeth Street Melbourne Victoria 3000 p (03) 8660 3000 www.reedsconsulting.com.au survey@reedsconsulting.com.au </p>	LICENSED SURVEYOR THOMAS ANDREW MILLAR	
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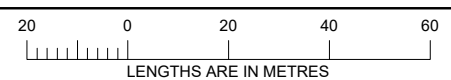


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DATE: 08/06/22
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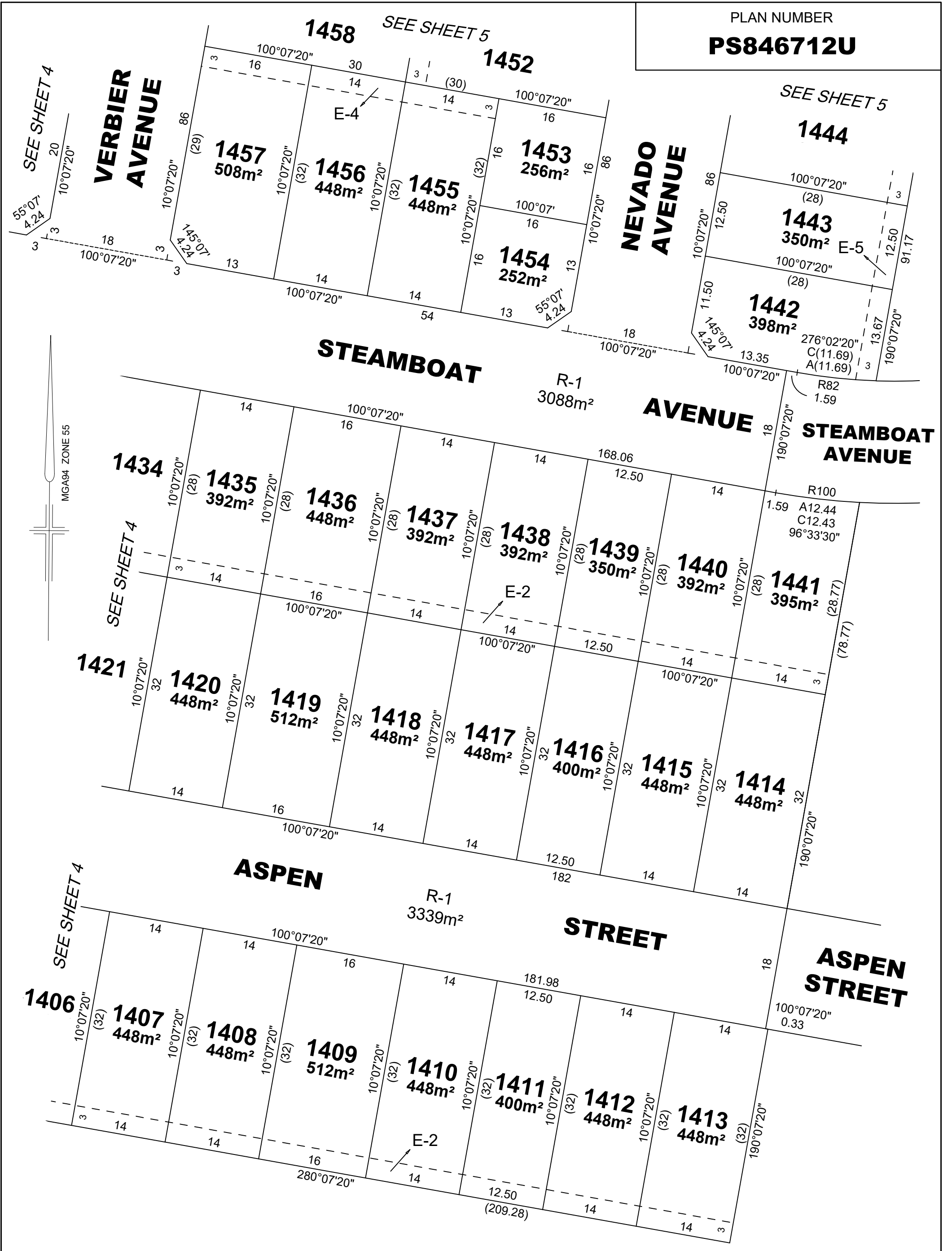
ORIGINAL SHEET
SIZE A3

SHEET 2 OF 7 SHEETS



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LICENSED SURVEYOR
..... THOMAS ANDREW MILLAR

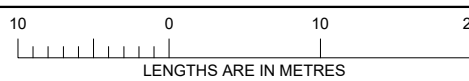


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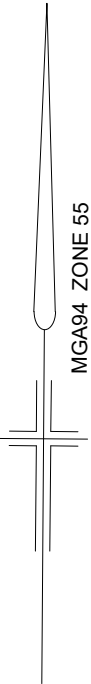
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ORIGINAL SHEET SIZE A3

SHEET 3 OF 7 SHEETS



MGA94 ZONE 55

ROAD

STEAMBOAT AVENUE

VERBIER AVENUE

INNSBRUCK

ASPEN

STREET

1474 SEE SHEET 6

1473
404m²

1466

1467
350m²

1472
298m²

1471
288m²

1470
248m²

1469
248m²

1468
297m²

1457

R-1
3088m²

AVENUE

R-1
6792m²

1429
252m²

1430
256m²

1431
392m²

1432
392m²

1433
350m²

1434
392m²

1435

1428
449m²

1427
448m²

1426
252m²

1425
256m²

1424
448m²

1423
448m²

1422
400m²

1421
448m²

1420

R-1
3339m²

1402
512m²

1403
496m²

1404
448m²

1405
400m²

1406
400m²

1407

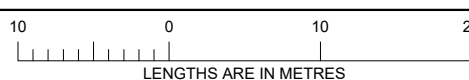
1401
517m²

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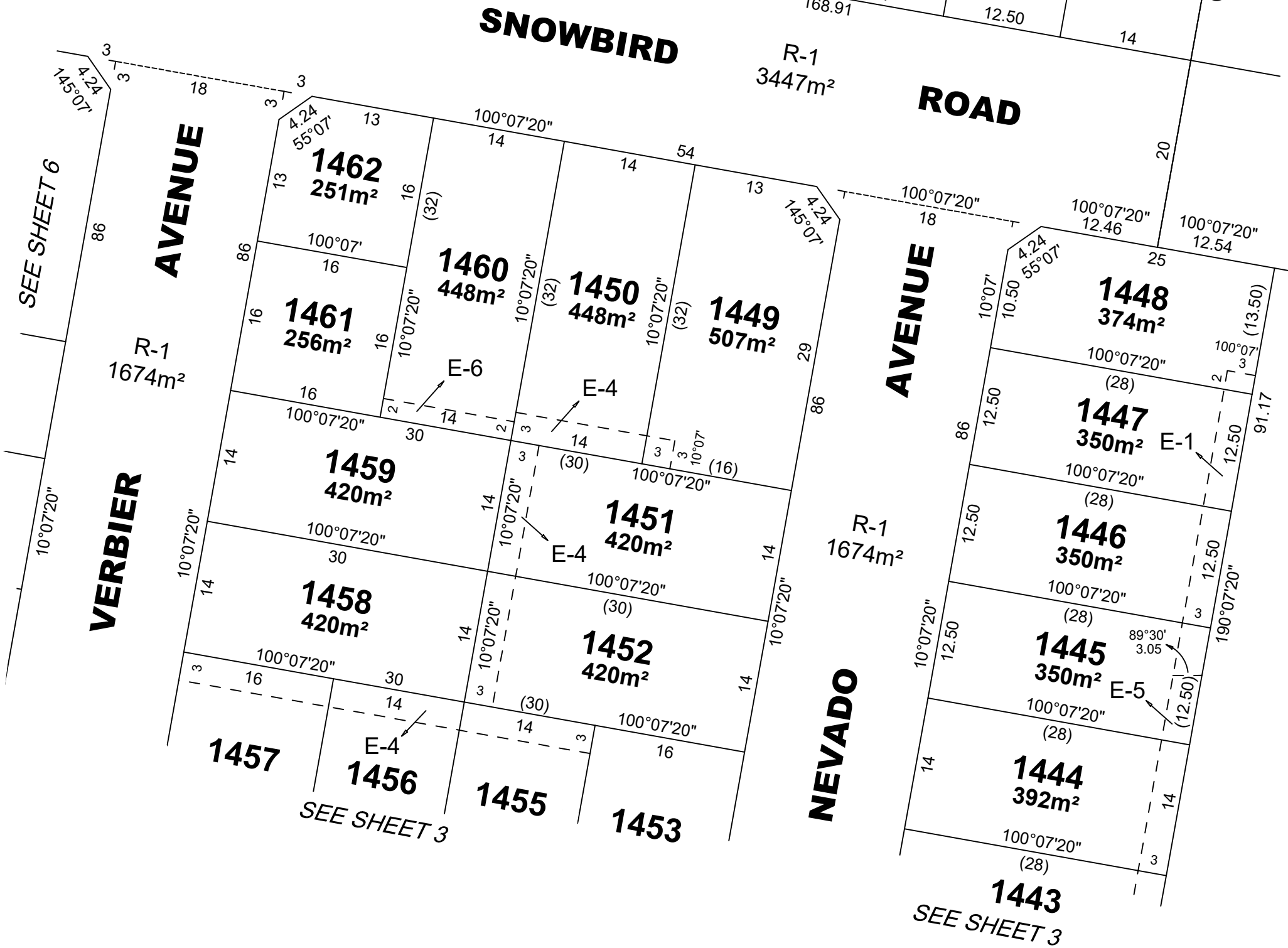
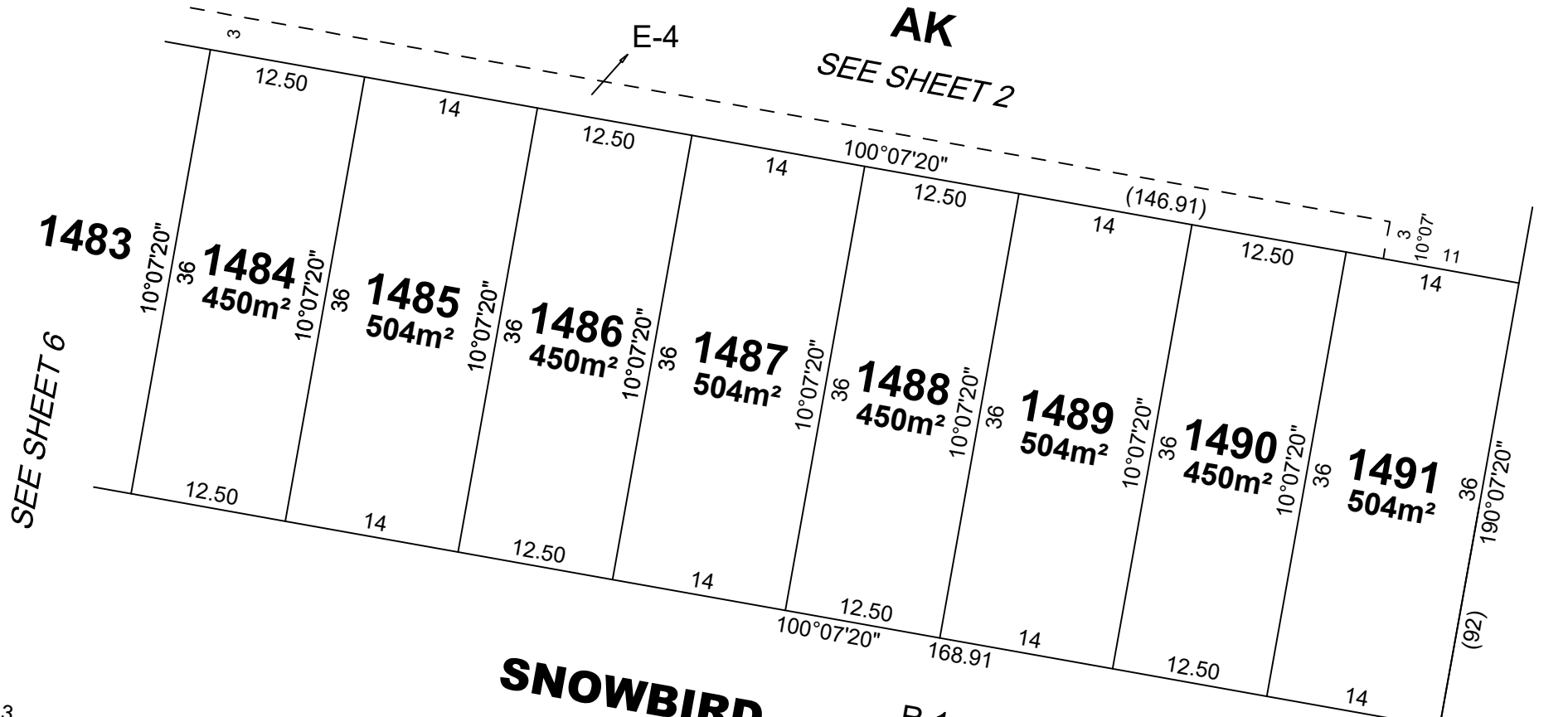
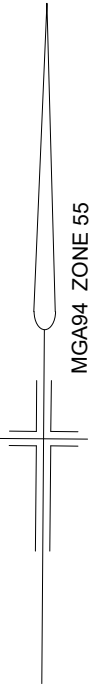
ORIGINAL SHEET
SIZE A3

SHEET 4 OF 7 SHEETS



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LICENSED SURVEYOR
THOMAS ANDREW MILLAR

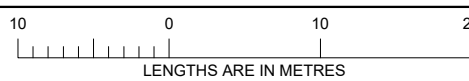


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ORIGINAL SHEET
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SHEET 5 OF 7 SHEETS

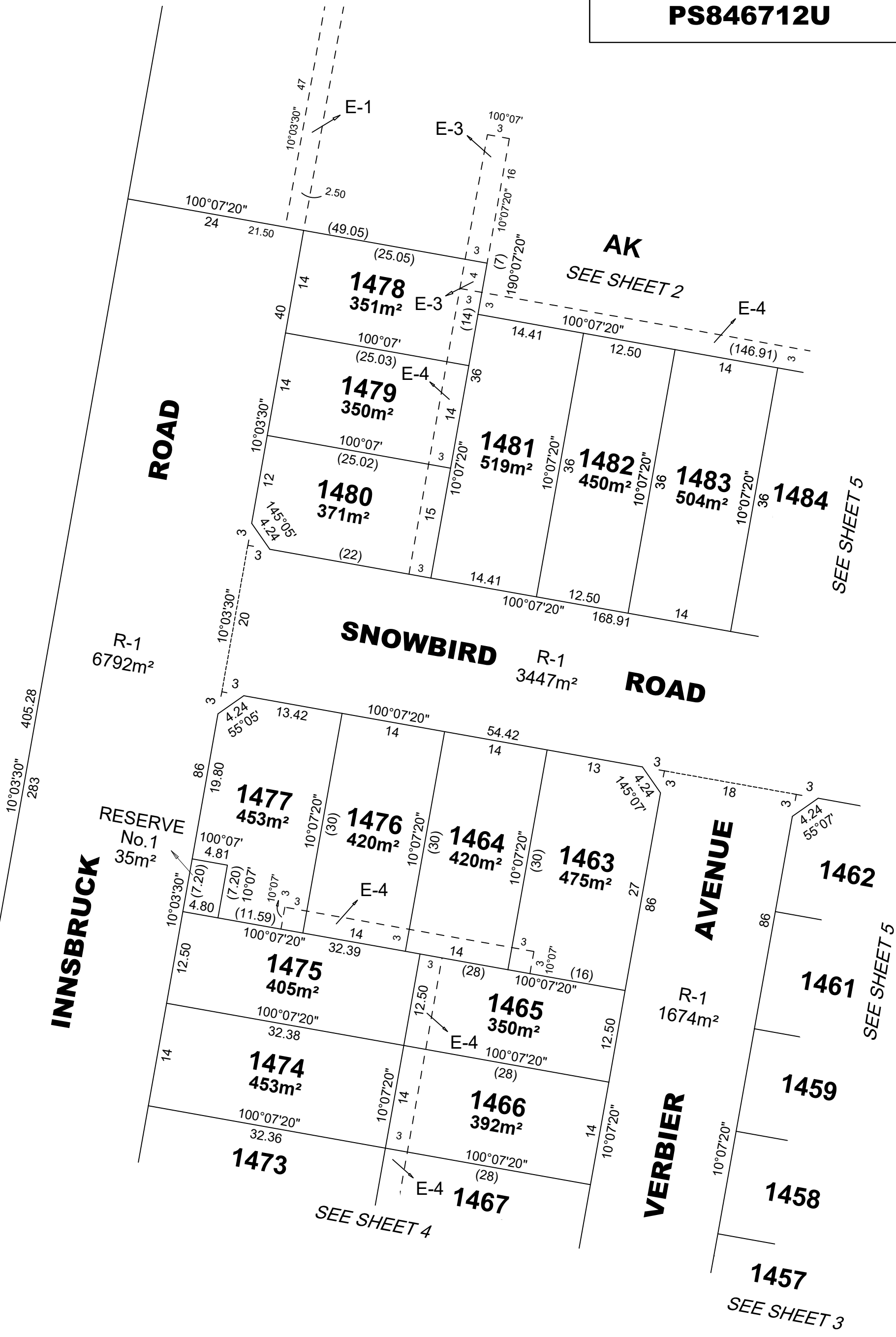
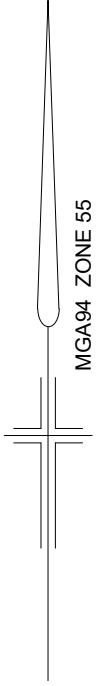


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LICENSED SURVEYOR

..... THOMAS ANDREW MILLAR

SEE SHEET 2

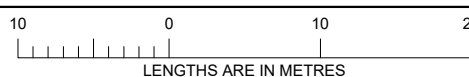


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ORIGINAL SHEET SIZE A3

SHEET 6 OF 7 SHEETS



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LICENSED SURVEYOR

THOMAS ANDREW MILLAR

CREATION OF RESTRICTION No.1

THE FOLLOWING RESTRICTION IS TO BE CREATED UPON REGISTRATION OF THIS PLAN:

LAND TO BENEFIT: LOTS 1401-1491 (BOTH INCLUSIVE)
LAND TO BE BURDENED: LOTS 1401-1491 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

1. THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT BUILD OR ERECT OR ALLOW TO BE BUILT OR ERECTED ANY BUILDING OR STRUCTURE, OTHER THAN A BUILDING OR STRUCTURE WHICH IS BUILT OR ERECTED IN ACCORDANCE WITH THE PROVISIONS OF THE MEMORANDUM OF COMMON PROVISIONS REGISTERED IN APPLICATION No. AA6776 WHICH ARE INCORPORATED INTO AND BY THIS PLAN.
2. THIS CREATION OF RESTRICTION No.1 SHALL CEASE TO HAVE EFFECT 10 YEARS AFTER REGISTRATION OF THIS PLAN.

CREATION OF RESTRICTION No.2

THE FOLLOWING RESTRICTION IS TO BE CREATED UPON REGISTRATION OF THIS PLAN:

LAND TO BENEFIT: LOTS 1401-1491 (BOTH INCLUSIVE)
LAND TO BE BURDENED: LOTS 1401-1491 (BOTH INCLUSIVE)

DESCRIPTION OF RESTRICTION:

1. NO DWELLING SHALL BE CONSTRUCTED ON EACH LOT DESCRIBED AS THE BURDENED LAND UNLESS:
 - IT HAS A RAINWATER TANK THAT IS 2 KILOLITRE OR LARGER INSTALLED; AND
 - THE ROOF OF THE DWELLING DRAINS TO THE RAINWATER TANK; AND
 - RAINWATER FROM THE RAINWATER TANK IS THE PRIMARY SUPPLY FOR ALL TOILETS, COLD WATER LAUNDRY AND OUTDOOR USAGE PROVIDED, HOWEVER, THAT A MAINS WATER SYSTEM CAN BE USED WHEN RAINWATER IS UNAVAILABLE.


CREATION OF RESTRICTION No.3

THE FOLLOWING RESTRICTION IS TO BE CREATED UPON REGISTRATION OF THIS PLAN:

LAND TO BENEFIT: LOTS 1401-1491 (BOTH INCLUSIVE).
LAND TO BE BURDENED: LOTS 1425, 1426, 1429, 1430, 1453, 1454, 1461, 1462, 1468 - 1472.

DESCRIPTION OF RESTRICTION:

THE REGISTERED PROPRIETOR OR PROPRIETORS FOR THE TIME BEING OF ANY BURDENED LOT ON THIS PLAN MUST NOT BUILD OR ERECT OR ALLOW TO BE BUILT OR ERECTED ANY BUILDING OR STRUCTURE, OTHER THAN A BUILDING OR STRUCTURE WHICH IS BUILT OR ERECTED IN ACCORDANCE WITH THE PROVISIONS OF THE SMALL LOT HOUSING CODE FOR TYPE A BUILDINGS.

REF: 23718/14	VERSION: D	DATE: 08/06/22 23718-14-PS-D.dwg	NOT TO SCALE	ORIGINAL SHEET SIZE A3	SHEET 7 OF 7
 <p>Reeds Consulting Pty Ltd Lvl 6, 440 Elizabeth Street Melbourne Victoria 3000 p (03) 8660 3000 www.reedsconsulting.com.au survey@reedsconsulting.com.au</p>			LICENSED SURVEYOR THOMAS ANDREW MILLAR		