

Winterfield.North

Building
Design
Guidelines

April
2023



In addition to these building design guidelines, it is the purchasers' responsibility to ensure that construction complies with applicable Building Regulations and any applicable planning and/or authority requirements along with current Victorian energy rating standards.

VISION

Welcome to Winterfield, Ballarat's refreshing new masterplanned community. Winterfield is designed to balance nature and amenity, to ensure health and well-being come first and a busy lifestyle doesn't take away from the peace that comes with owning a place that's truly your own.

A unique estate within the suburb of Winter Valley, Winterfield will weave through and encourage the existing natural environment to establish a verdant green community for generations to come.

PURPOSE

The principal aim of these Design Guidelines is to create a coherent vision for the Winterfield community. Developed to enhance the lifestyle and investment of purchasers, the Guidelines are designed to ensure all homes at Winterfield are built to a high standard whilst encouraging a variety of housing styles which are in harmony with the streetscape.

The Guidelines will assist in providing you with peace of mind that your investment will be enhanced in the future, guarding against inappropriate development that may detract from the development.

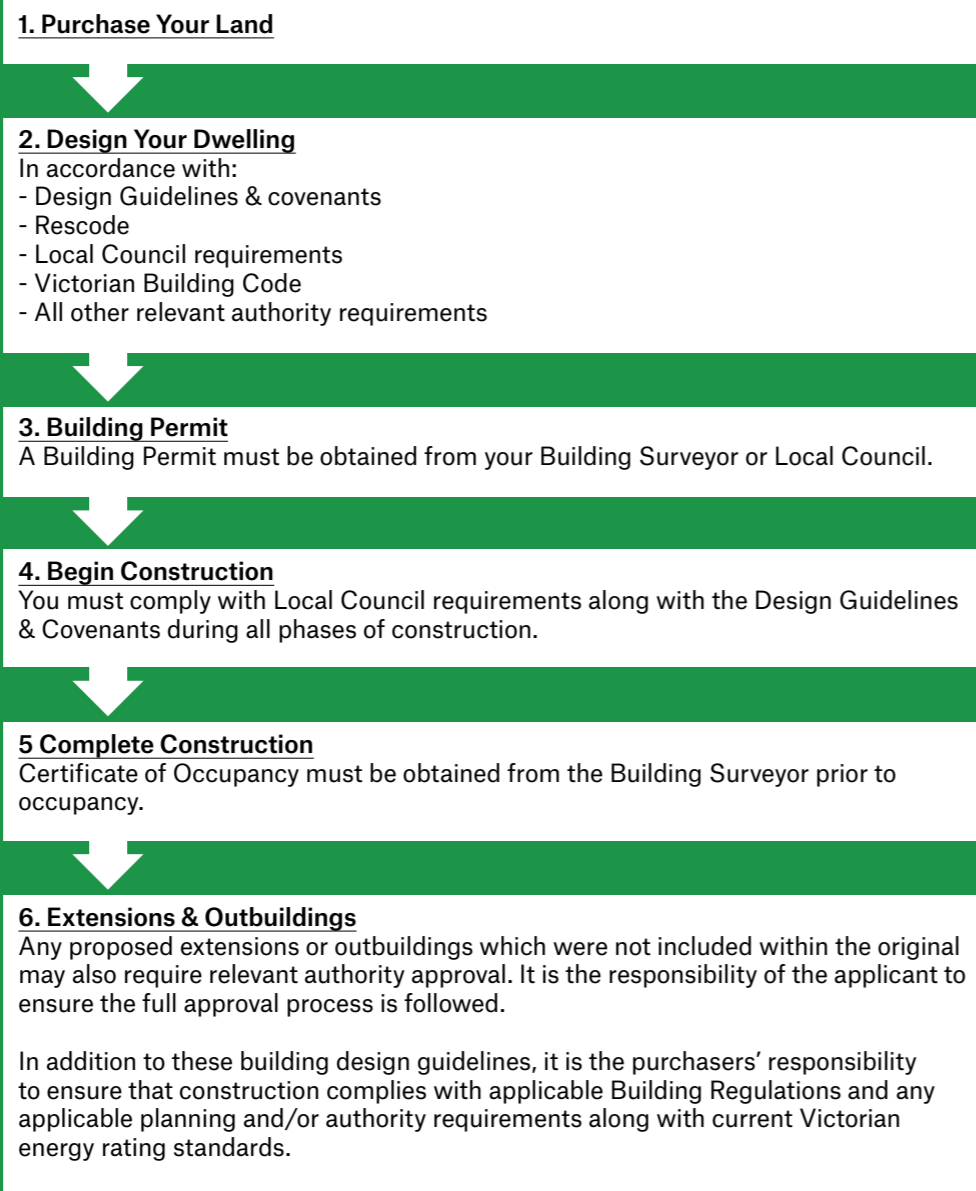
OPERATION

All proposed building works including houses, garages, outbuildings and fencing shall be designed in accordance with these Guidelines prior to seeking a Planning Permit (if required) and a Building Permit. The design guidelines may be amended from time to time at the Developer's discretion to reflect changes in design and building trends and/or amendments to legislation affecting building approvals.

CONSTRUCTION OF YOUR HOME

Incomplete building works must not be left for more than 3 months without work being carried out and all building works must be completed within twelve months of their commencement. Building works are to commence within 12 months of settlement.

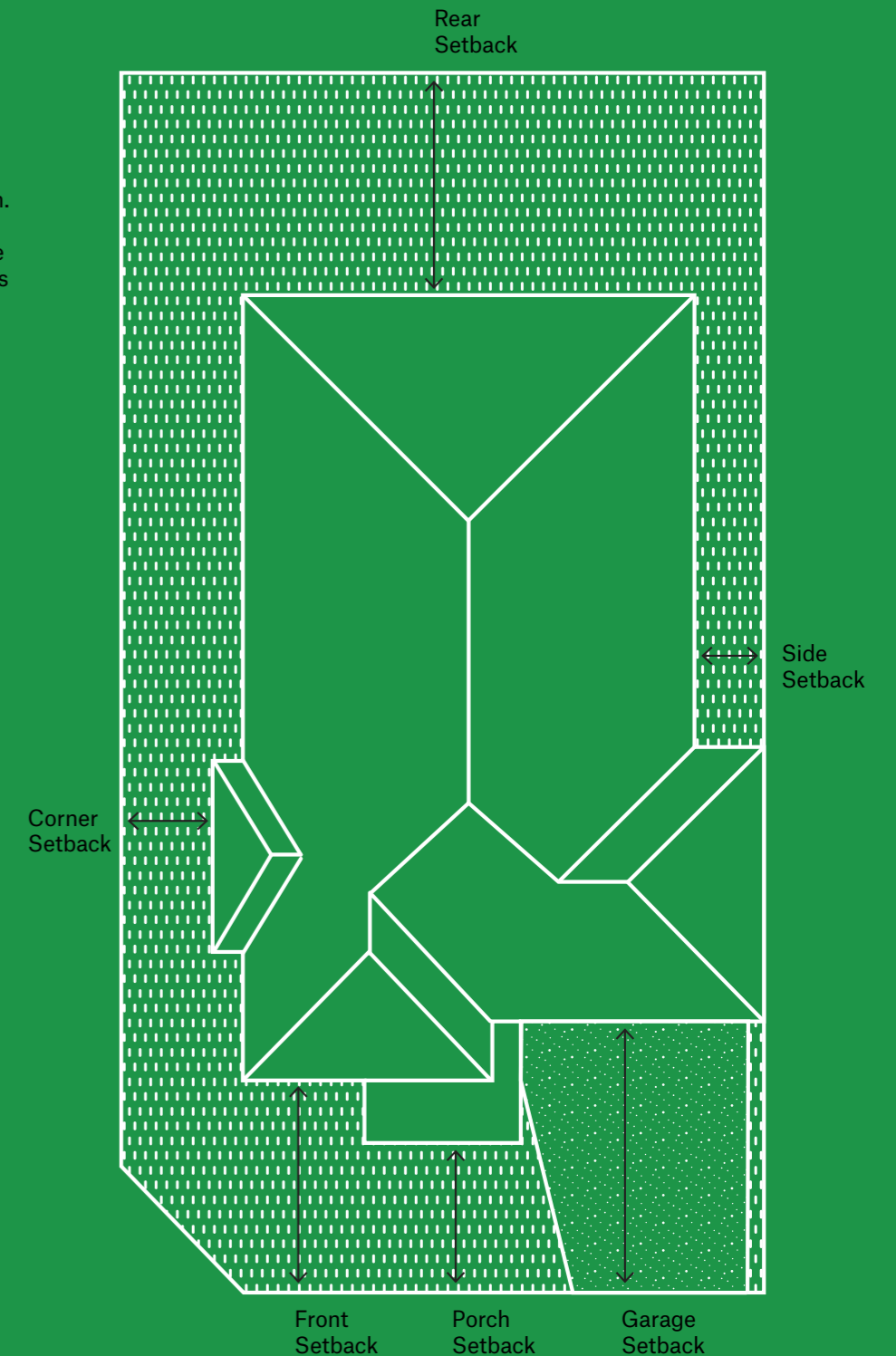
WINTERFIELD APPROVAL PROCESS



SETBACKS

The dwelling must be setback a minimum of 4 metres from the front boundary. Side setbacks must be a minimum of 1.0 from at least 1 side boundary. Where the lot is on a corner, the side street elevation of the swelling must be setback a minimum of 2m.

All setbacks must comply with Part 4 of the Building Regulations 2006 and/or Council's Planning Scheme as applicable.



CORNER LOTS

With housing located on corners, the following restrictions apply:

- The articulation of the secondary street frontage visible from the street must include a minimum 2 features replicated from the primary façade.
- Corner dwellings must include eaves to both street frontages.

FAÇADE DESIGN

Front façades must be designed to sufficiently address the street. Details that must be adhered to include:

- An entry feature such as a porch
- Window configurations and positions
- Articulation of the floor plan and roof line
- The choice of external materials and finishes
- Pitched roofs at a minimum of 22 degrees

Large areas of blank or unarticulated space must be avoided.

Dwellings on corner lots must be designed to address both street frontages by incorporating similar elements to both façades ('corner treatment'). Design elements such as pergolas, windows and materials used on the front facade must continue at least 1 metre along the adjoining side.

SIMILAR FAÇADES

Similar façade design and colour schemes will not be permitted within 3 lots of each other, including the 3 lots on the opposite side of the street.

Example of 3 house separation.



■ Red lot denotes a façade that has already been approved.

■ You cannot have a similar or identical façade to the Red lot if you are building on a Pink lot.

GARAGES

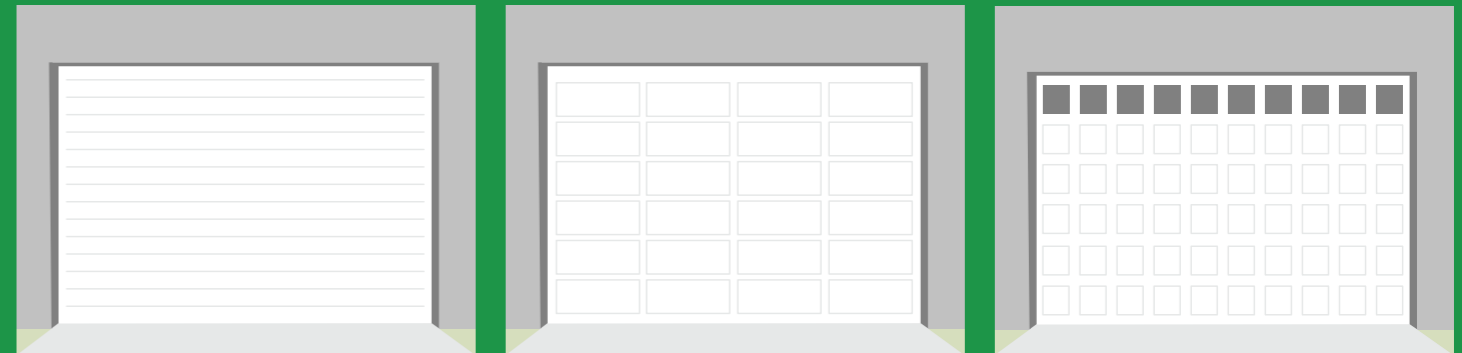
All lots must provide vehicle accommodation in the form of an enclosed garage. Lots with frontages equal or greater than 12.5 metres must incorporate a double car garage. Carports are not permitted.

Garage roller doors are not accepted.

Garages must be setback at least 5.0m from the front boundary. Garages must be set back behind the front facade of dwellings by minimum 0.5m, measured from the main front wall.

Garages must not dominate the façade and must have a sectional or panel lift door to the street frontage.

Example of garage door types.



DWELLING SIZE

Dwellings must comply with the following (excluding any porch, verandah, garage, alfresco or similar):

Lot size:	Minimum dwelling size:
Under 300m ²	100m ²
300m ² to 400m ²	110m ²
Above 400m ²	130m ²

Relocatable dwellings are not permitted.
Dual Occupancy dwellings are not permitted.

EXTERNAL MATERIALS & COLOURS

A variety of roof forms are encouraged and permitted. All roofs (12.5m frontage or above) must include min eaves width of 450mm to the street frontage. Eaves to the frontage of a dwelling must have a 1.0m minimum return.

- Double story homes must have eaves to the entire first floor
- No blank walls to secondary frontage
- Facades must incorporate at least 2 different materials with the second material comprising at least 20% of the elevation" (not including doors or windows).
- Letterboxes must be designed to match the house using similar materials and colours, single post letterboxes are not permitted".
- Lightweight infill is not permitted to windows and doors (including garage door) on street elevation
- Reflective, frosted, coloured or patterned glass is not permitted

External walls should be constructed from:

- Face brickwork
- Rendered lightweight cladding or masonry
- Weatherboards/cement composite materials (such as scyon cladding)
- Timber cladding
- Selective use of stone, tile or corrugated colorbond cladding

All external colours shall be natural, neutral, subdued tones.

External colour examples



DRIVEWAYS

Driveways must be constructed prior to occupancy.

Driveways must be constructed from coloured concrete as a minimum standard. Pavers or exposed aggregate are encouraged.

Natural concrete is not permitted, nor are impermeable surfaces (eg. compacted toppings, crushed rock).

Driveways must taper to generally match the crossover width and must be setback at least 300mm from the closest side boundary to allow for a landscaping strip. Only one driveway is permitted per allotment

The driveway must not be wider than 6.0 metres for double garages and 3.5 metres for single garages, splayed from a single driveway crossover width of 3m at the front property boundary.

Examples of permitted driveway finishes:



BOUNDARY FENCING

Fencing must be constructed prior to occupancy.

Side and Rear Fences

- Side and rear fences must be 2 metres high and constructed using timber palings, a timber cap and timber posts 125mm x 75mm exposed to both sides of the fence.
- Side fences or gates must return to abut the dwelling/ garage and must be setback to allow metre access.
- Fencing to corner boundaries must be setback at least 3.0m behind the dwelling front façade and behind the corner treatment.
- Fencing needs to be constructed prior to occupancy.

Front Fences

- Any front fencing must be constructed to a height of 1.0m, and must be at least 30% transparent (not a solid mass). Posts may extend to a maximum height of 1.2m.
- If front fencing is installed, it must also be constructed along the side boundaries in the front yard, however, this fencing must be constructed from capped timber palings with a plinth and exposed posts (125mm X 75mm), to a height of 1.0m.

Examples of front fences (if constructing)



A: Heritage Woven Wire



B: Contemporary Pillar



C: Flat Top Picket Fence



D: Cable Railings

ANCILLARY ITEMS

Unightly services and other ancillary items must be located out of public view where possible and of an appropriate size, colour and finish. This would include items such as:

- External plumbing (excluding gutters & downpipes)
- Evaporative cooling units must be low profile, the same colour as the roof and must not be visible from street frontage
- Split system heating/cooling units
- Antennae and aerials
- Satellite dishes
- Clothes lines
- Metreboxes
- Hot water units
- Solar/PV panels
- Water tanks



Contact

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